

Staff Summary Report



Development Review Commission Date: 12/14/10

Agenda Item Number: ____

SUBJECT: Hold a public meeting for a Development Plan Review for ALL SAINTS CATHOLIC NEWMAN CENTER, located at 230 East University Drive.

DOCUMENT NAME: DRCr_AllSaintsNewmanCtr_121410 **PLANNED DEVELOPMENT (0406)**

COMMENTS: Request for **ALL SAINTS CATHOLIC NEWMAN CENTER (PL100304)** (Roman Catholic Diocese of Phoenix, property owner; Phoenix Design Group, applicant) consisting of a new chapel building with offices, social hall, classrooms and a residence, all within approximately 34,300 s.f. of building area, while maintaining the existing church (Old St. Mary's Church) on approx. 0.72 acres, located at 230 East University Drive in the CC, City Center District, Transportation Overlay District, Historic Designated Property, and within a Planned Area Development Overlay. The request includes the following:

DPR10173 – Development Plan Review including site plan, building elevations, and landscape plan.

PREPARED BY: Ryan Levesque, Senior Planner (480-858-2393)

REVIEWED BY: Lisa Collins, Community Development Deputy Director (480-350-8989)

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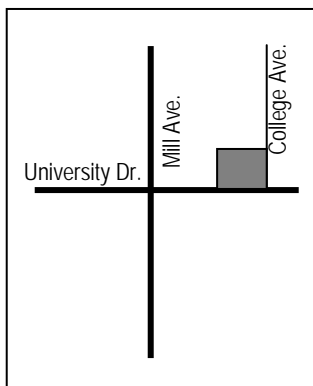
LEGAL REVIEW BY: N/A

DEPARTMENT REVIEW BY: N/A

FISCAL NOTE: N/A

RECOMMENDATION: **Staff – Approval, subject to conditions**
Historic Preservation Commission – Approval with conditions

ADDITIONAL INFO:



Gross / Net site area	0.86 / 0.84 acres
New Building area	34,267 sf. (3,485 sf. existing church to remain)
Lot Coverage	73% (NS)
Building Height	45'-3" (270 ft. per PAD)
Building Setbacks	0' setbacks all sides (0 required)
Landscape area	20% (NS)
Vehicle Parking	70 spaces + ASU Foundation (268 min. required per TOD)
Bicycle Parking	22 spaces (22 min. required)
Density	0.89 du/ac (1 dwelling; Max. 209 du/ac per PAD)

PAGES:

1. List of Attachments
- 2-4. Comments / Reason for Approval
- 4-6. Conditions of Approval
- 7-9. Code Requirements / History & Facts / Zoning & Development Code Reference

ATTACHMENTS:

1. Location Map
2. Aerial Photo
3. Letter of Explanation
4. Site plan (1st level floor plan)
5. 2nd level Floor Plan
6. 3rd level Floor Plan
- 7-8. Building Elevations
- 9-10. Color Elevations
- 11-12. Color Elevations with Old St. Mary's church
13. Building Sections and fence details
14. Preliminary Grading & Drainage Plan
15. Landscape Plan
- 16-21. Site Photographs
22. Historic Preservation Commission Approval Letter

COMMENTS:

This site is located at the northwest corner of University Drive and College Avenue, within Downtown Tempe, and adjacent to the Arizona State University campus. College Avenue is the main connection to Tempe's Transportation Center for all bus routes, including the Light Rail station at 5th Street and College Avenue. To the north of the site includes some inline commercial stores and a parking lot. To the west and east are additional restaurant sites servicing the downtown and University campus. The applicant is requesting approval of a Development Plan Review consisting of demolishing the old worship, social hall and office building to the west, while preserving the historic Old St. Mary's church, for a new 34,300 sf. worship hall with offices, class rooms, social hall and a rectory, located in the CC, City Center District and within the Transportation Overlay District (corridor).

The Old St. Mary's church, located on the corner of this site, is significant as a prominent landmark in Tempe and as a representative example of Territorial Victorian Romanesque Revival architecture. The church retains a high degree of integrity from the time of its construction in 1902-1903. The property is listed on the Tempe Historic Property Register (January 20, 2000) and on the National Register of Historic Places (January 30, 1978). This application has been reviewed by the Tempe Historic Preservation Commission on October 14, 2010. With respect to the historic integrity of the St. Mary's Church historic parcel, the Historic Preservation Commission recommended approval of the proposal with the stipulations identified in the attachments.

The new building faces both the University Drive street front as well as College Avenue. The proposed sanctuary, social hall, and offices is accessible through a grass courtyard from either sides of the existing Old St. Mary's Church. The only modification proposed to the historic church is the addition of an ADA compliant ramp on the western side facing the courtyard. The project has also received approval of a shared parking model that provides the required parking at off-site locations, including a dedicated lease agreement with a commercial parking lot across the alley (70 spaces) and off-site agreements for use of the ASU Foundation Center parking structure during non-event weekends.

On March 20, 2008, this site received approval of a Planned Area Development Overlay, for the future development of a new worship, social hall, offices and student housing, all within a new 22-story multi-use building. The approval included modified standards for a maximum building height of 270'-0" (244'-0" proposed) and reduced parking standards for 147 off-site spaces for all uses on site. Due to current funding constraints at this time the project will only move forward with the new worship hall, chapel, offices and classrooms, including a rectory for the priest. A future phase of student housing is still in consideration for this property, but would require redevelopment of this new proposal.

PUBLIC INPUT

A neighborhood meeting is not required for this development. The previous project entitlements conducted a neighborhood meeting back in September of 2007, which addressed topics concerning parking for the student housing element. A meeting was held for this project by the Historic Preservation Commission. At this time staff has received no additional public input on this item.

DEVELOPMENT PLAN REVIEW

The new building design for the All Saints Catholic Newman Center is a multi level building configured in an L-shape layout. The third level component of the building faces the College Avenue frontage, containing the rectory, a three bedroom residence for the church priests. At the northwest corner of the property contains the main worship hall. To the south, fronting University Drive is the social hall and smaller chapel component. The classrooms and church offices are located on the north side adjacent to the alley.

The building design utilizes components of similar elements found within the existing Old St. Mary's Church, while attempting to avoid obscuring the historic structure with modern materials. The elements are introduced with a southwestern design, with sand finish EFIS as the main material, a wainscot base, and portions of founders block veneer at defining elements, including pilasters and wall caps. The front building façade along University Drive centers on the existing public art sanctioned bus shelter, a faux palm tree design. Most of the defining building elements include arched building walls and windows, or windows within an arched colonnade form, with a standing seam metal roof.

Landscape Plan

The majority of new landscape is included in the courtyard area, primarily designated for turf. This area will serve as a multi-use area for events conducted outside. Other components of new landscape are introduced around the southern entrance. The existing street trees on either sides of street will remain in place. The western most palm tree along University will be removed with the other existing palm trees slightly relocated which flank either sides of the bus shelter. Staff, in concert with the design team, has agreed in concept to a landscape planter bed directly behind the bus seating bench. This design consideration will address the Police comments regarding the issue of hiding objects behind the bench including citizens sleeping behind the structure. This design element will also require an Arts Commission review with the appropriate staff before final. In concept, preliminary acceptance has been received. The remaining frontage will also included a raised planter seat wall along the building, providing physical separation, while introducing opportunities for functionality at the street where a primary entrance is not present.

According to Section 6-306 D. Approval Criteria for Development Plan Review, the following is evaluated for design acceptance:

1. Placement, form, and articulation of buildings and structures provide variety in the streetscape; *The proposed building emulates multiple variations in building form and articulation to the street fronts, as well as along the western property line and the alley.*
2. Building design and orientation, together with landscape, combine to mitigate heat gain/retention while providing shade for energy conservation and human comfort; *The project introduces varied surface materials for the open portions of site. One primary element includes turf, which provides a cooling element within the open space. Additionally, a covered walkway shades the majority of the path at the main sanctuary entrance. Varied building setbacks in the façade, along with existing structures, also provide additional shade from southwestern sun exposure.*
3. Materials are of a superior quality, providing detail appropriate with their location and function while complementing the surroundings; *The materials as presented do provide a superior quality within context to the existing site conditions. Furthermore, the material and design elements tie in to other recent developments, such as the ASU Foundation Center' brick pilasters located across the intersection.*
4. Buildings, structures, and landscape elements are appropriately scaled, relative to the site and surroundings; *All elements are appropriately scaled and provide a human-scaled element with the landscape planter seat wall.*
5. Large building masses are sufficiently articulated so as to relieve monotony and create a sense of movement, resulting in a well-defined base and top, featuring an enhanced pedestrian experience at and near street level; *The overall structure is well articulated by eliminating the appearance of a large structure. The pedestrian experience is enhanced with interaction of landscape planters interacting with the existing streetscape elements.*
6. Building facades provide architectural detail and interest overall with visibility at street level (in particular, special treatment of windows, entries and walkways with particular attention to proportionality, scale, materials, rhythm, etc.) while responding to varying climatic and contextual conditions; *The building façade provides an overall interest without detracting from the primary feature of the site, the Old St. Mary's Church located at the corner.*
7. Plans take into account pleasant and convenient access to multi-modal transportation options and support the potential for transit patronage; *The site is located near the hub of the City's Transportation Center, including convenient access to valley wide bus services, local transit routes and the Valley Metro Light Rail station at 5th Street and College Avenue. Although no vehicle parking is provided on-site, there will be adjacent dedicated parking for the church with the lease agreement on the pay commercial lot across the alley, as well as use of the Foundation Centers parking garage.*
8. Vehicular circulation is designed to minimize conflicts with pedestrian access and circulation, and with surrounding residential uses; *As a result of no on-site parking, vehicular conflicts with pedestrians have been minimized.*
9. Plans appropriately integrate Crime Prevention Through Environmental Design principles such as territoriality, natural surveillance, access control, activity support, and maintenance; *CPTED concepts have been addressed in this design project. The courtyard will be secured with wrought iron fencing at either entrance.*

10. Landscape accents and provides delineation from parking, buildings, driveways and pathways; *Landscape accents have been achieved in this project design.*
11. *Signs* have design, scale, proportion, location and color compatible with the design, colors, orientation and materials of the *building* or site on which they are located; *Not applicable to this request.*
12. Lighting is compatible with the proposed *building(s)* and adjoining *buildings* and uses, and does not create negative effects. *Lighting will appear to be compatible with the building designs, in compliant with Tempe's lighting standards.*

Conclusion

Based on the information provided by the applicant, the public input received and the above analysis staff recommends approval of the requested Development Plan Review. This request meets the required criteria and will conform to the conditions 1-12.

REASONS FOR APPROVAL:

1. The project meets the General Plan Projected Land Use and Projected Residential Density for this site.
2. The project will meet the development standards required under the Zoning and Development Code.
3. The proposed project meets the approval criteria for a Development Plan Review.

CONDITIONS OF APPROVAL:

EACH NUMBERED ITEM IS A CONDITION OF APPROVAL. THE DECISION-MAKING BODY MAY MODIFY, DELETE OR ADD TO THESE CONDITIONS.

1. An application for an Amended Planned Area Development Overlay for this project shall be submitted to the Community Development Department and put into proper engineered format with appropriate signature blanks and kept on file with the City of Tempe prior to issuance of building permits.
2. An Amended Subdivision Plat is required for this development and shall be recorded prior to issuance of building permits. The subdivision plat shall dedicated right-of-way along the University Drive frontage half street from 50'-0" to 55'-0", including easements for the existing bus shelter.
3. A non-commercial Encroachment Permit for the raised landscape planters must be obtained from the Engineering Division at the time of submittal for construction documents for building permit. The limitations of this encroachment may include;
 - a. A maintenance and use agreement for the upkeep of the landscape planter bed structures, and
 - b. Any other requirements described by the encroachment permit.
4. The historic conservation easement shall be recorded with the proposed improvements for the Old St. Mary's portion of the site, prior to receiving building permits, and as originally outlined in the Planned Area Development Overlay conditions of approval. (PL070404/PAD07027)

Site Plan

5. Provide and maintain 8'-0" wide clear public sidewalk along University Drive.
6. The public alley adjacent to this property shall be resurfaced, extending to the nearest adjacent street, subject to Public Works, Engineering Division review.
7. Remove all existing curb cut driveways and replace to match existing street details.
8. Utility equipment boxes for this development shall be finished in a neutral color (subject to utility provider approval) that compliments the coloring of the buildings.

9. Place exterior, freestanding reduced pressure and double check backflow assemblies in pre-manufactured, pre-finished, lockable cages (one assembly per cage).

Floor Plans

10. Exit Security:
 - a. Provide visual surveillance by means of fire-rated glazing assemblies from stair towers into adjacent circulation spaces.
 - b. In instances where an elevator or stair exit is within 21'-0" of an alcove, corner or other potential hiding place, position a refracting mirror to allow someone in the exit doorway to observe in the mirror the area around the corner or within the alcove that is adjacent to the doorway.
11. Public Restroom Security:
 - a. Lights in restrooms:
 - 1) Provide 50% night lights
 - 2) Activate by automatic sensors, key or remote control mechanism
 - b. Single user restroom door hardware:
 - 3) Provide a key bypass on the exterior side

Building Elevations

12. The materials and colors are approved as presented:
Sand Finish EFIS – Benjamin Moore – "Shelburne Buff"
Pilasters and Wall Caps – Founders Block – Color: "Canyon"
Standing Seam Metal Roof, zee-lock – Color: "Copper Brown"
Wall base – Wainscot material – Natural Sand Stone, Ashlar Pattern
Aluminum Windows – Kawneer – Color: "Medium Bronze"
Iron Gates – To match color of windows
Provide main colors and materials with a light reflectance value of 75 percent or less. Specific colors and materials exhibited on the materials sample board are approved by planning staff. You may submit any additions or modifications for review during building plan check process.
13. Provide secure roof access from the interior of the building. Do not expose roof access to public view.
14. Conceal roof drainage system within the interior of the building.
15. The western property wall may be increased to a height of 10'-0" in order to obtain compliance with Building Code. Variation in the wall height may occur near the portion adjacent to the public alley only, with a minimum height of 8'-0".
16. All the rolling gate and fence along the service yard shall be a minimum height of 8'-0", with all other gates and fencing at a minimum height of 6'-0".
17. Incorporate lighting, address signs, and incidental equipment attachments (alarm klaxons, security cameras, etc.) where exposed into the design of the building elevations. Exposed conduit, piping, or related materials is not permitted.
18. Locate the electrical service entrance section (S.E.S.) inside the building or inside a secure yard that is concealed from public view.
19. Avoid upper/lower divided glazing panels in exterior windows at grade level, particularly where lower (reachable) glass panes of a divided pane glass curtain-wall system can be reached and broken for unauthorized entry. Do not propose landscaping or screen walls that conceal area around lower windows. If this mullion pattern is desired for aesthetic concerns, laminated glazing may be considered at these locations.

Landscape

20. The plant palette is approved as proposed and specified on the landscape plan. Any additions or modifications may be submitted for review during building plan check process.

21. A raised planter bed or an alternate material design shall be provided adjacent and behind the existing bus shelter, at or above the seating height, with independent wall support for the landscape. Review of the project design adjacent to the public art bus shelter, including modifications to palm trees or art bike rack, requires review by the Arts Commission, as determined by the staff coordinator.
22. Two of the existing three palm trees on either sides of the art bus shelter shall remain as shown on the landscape plan. The placement of the trees may be modified without substantial modification to the original locations while preserving the existing trees. Any damage to the existing trees during construction shall require the project to replace the existing trees with a similar sized tree in height and form.
23. Irrigation notes:
 - a. Provide pipe distribution system of buried rigid (polyvinylchloride), not flexible (polyethylene). Use of schedule 40 PVC mainline and class 315 PVC ½" feeder line is acceptable. Class 200 PVC feeder line may be used for sizes greater than ½" (if any). Provide details of water distribution system.
 - b. Locate valve controller in a vandal resistant housing.
 - c. Hardwire power source to controller (a receptacle connection is not allowed).
 - d. Controller valve wire conduit may be exposed if the controller remains in the mechanical yard.
 - e. Repair existing irrigation system (on site or in the adjacent public right of ways) where damaged by work of this project. Provide temporary irrigation to existing landscape for the period of time that irrigation system is out of repair. Design irrigation so existing plants are irrigated as part of the reconfigured system at the conclusion of this construction.
24. Include requirement to de-compact soil in planting areas on site and in public right of way and remove construction debris from planting areas prior to landscape installation.
25. Top dress planting areas with a rock or decomposed granite application. Provide rock or decomposed granite of 2" uniform thickness or less. Provide pre-emergence weed control application and do not underlay rock or decomposed granite application with plastic.

Signage

26. Provide address sign(s) on the building elevation facing the street to which the property is identified on University only.
 - a. Conform to the following for building address signs:
 - 1) Provide street number only, not the street name
 - 2) Compose of 12" high, individual mount, metal reverse pan channel characters.
 - 3) Shall be Self-illuminated.
 - 4) Coordinate address signs with trees, vines, or other landscaping, to avoid any potential visual obstruction.
 - 5) Do not affix number or letter to elevation that might be mistaken for the address.
 - b. Utility meters shall utilize a minimum 1" number height in accordance with the applicable electrical code and utility company standards.
 - c. Provide at least one set of minimum 3" high address numerals along the alley above either exit points. Provide contrasting color with no lighting required for the address.

CODE/ORDINANCE REQUIREMENTS:

THE BULLETED ITEMS REFER TO EXISTING CODE OR ORDINANCES THAT PLANNING STAFF OBSERVES ARE PERTINENT TO THIS CASE. THE BULLET ITEMS ARE INCLUDED TO ALERT THE DESIGN TEAM AND ASSIST IN OBTAINING A BUILDING PERMIT AND ARE NOT AN EXHAUSTIVE LIST.

- Specific requirements of the **Zoning and Development Code (ZDC)** are not listed as a condition of approval, but will apply to any application. To avoid unnecessary review time and reduce the potential for multiple plan check submittals, become familiar with the ZDC. Access the ZDC through www.tempe.gov/zoning or purchase from Community Development.
- **SITE PLAN REVIEW:** Verify all comments by the Public Works Department, Community Development Department, and Fire Department given on the Preliminary Site Plan Review. If questions arise related to specific comments, they should be directed to the appropriate department, and any necessary modifications coordinated with all concerned parties, prior to application for building permit. Construction Documents submitted to the Building Safety Division will be reviewed by planning staff to ensure consistency with this Design Review approval prior to issuance of building permits.
- **STANDARD DETAILS:**
 - Access standard engineering details at this link: www.tempe.gov/engineering/standard_details.htm or purchase book from the Public Works Engineering Division.
 - Access standard refuse enclosures at this link: www.tempe.gov/bsafety/Applications_Forms/applications_and_forms.htm. The enclosure details are under Civil Engineering & Right of Way.
- **BASIS OF BUILDING HEIGHT:** Measure height of buildings from top of curb at a point adjacent to the center of the front property line. College Avenue is the defined frontage for this project, per the Zoning and Development Code.
- **COMMUNICATIONS:**
 - For tall buildings, design top of building elements to allow cellular communications providers to incorporate antenna within the building architecture so future installations may be concealed with little or no building elevation modification. Additional processing may be required.
- **PUBLIC ART:** Review required by the Arts Commission or staff for improvements adjacent to the existing public art bus shelter, including relocation of the art bike rack. Contact the Community Services Cultural Services Division regarding processing of this requirement prior to receiving building permits.
- **HISTORIC PRESERVATION:** State and federal laws apply to the discovery of features or artifacts during site excavation (typically, the discovery of human or associated funerary remains). Contact the Historic Preservation Officer with general questions. Where a discovery is made, contact the Arizona State Historical Museum for removal and repatriation of the items.
- **SIDEWALKS:** Incorporate brick sidewalks for all off-site pedestrian paving. Follow City of Tempe Public Works Department Detail T-353, when designing all sidewalk areas in the Right-of-Way. Alternative paver materials may be considered subject to review, and approval, by the Engineering and Planning Departments. Any alternative patterns should be used in small amounts to create accent areas at entrances, or to demarcate architectural features of the building. Do not propose a wholesale change of material. These materials shall be compatible with the Americans with Disabilities Act, ADA, and the Building Code.
- **ENGINEERING:**
 - Underground adjacent overhead utilities except high-voltage transmission line unless project inserts a structure under the transmission line.
 - Coordinate site layout with Utility provider(s) to provide adequate access easement(s).
 - Clearly indicate property lines, the dimensional relation of the buildings to the property lines and the separation of the buildings from each other.
 - Verify location of any easements, or property restrictions, to ensure no conflict exists with the site layout or foundation design.
 - The site is within an Alternative Retention Criteria Area. Verify specific design considerations with the Engineering Department.

- **REFUSE:**
 - Enclosure indicated on site plan is exclusively for refuse. Construct concrete pad and bollards only, in conformance with standard detail DS-116.
 - Contact Public Works Sanitation Division to verify that vehicle maneuvering and access to the enclosure is adequate.
 - Develop strategy for recycling collection and pick-up from site with Sanitation. Roll-outs may be allowed for recycled materials. Coordinate storage area for recycling containers with overall site and landscape layout.
 - Gates for refuse enclosure(s) are not required, unless visible from the street. If gates are provided, the property manager must arrange for gates to be open from 6:00am to 4:30pm on collection days.
- **DRIVEWAYS:**
 - Correctly indicate clear vision triangles at both driveways on the site and landscape plans. Identify speed limits for adjacent streets at the site frontages. Begin sight triangle in driveways at point 15'-0" in back of face of curb. Consult "Corner Sight Distance" leaflet, available from Traffic Engineering if needed. Do not locate site furnishings, screen walls or other visual obstructions over 2'-0" tall (except canopy trees are allowed) within each clear vision triangle.
- **PARKING SPACES:**
 - Verify conformance of accessible vehicle parking to the Americans with Disabilities Act of 1990 (42 U.S.C.A. §12101 ET SEQ.) and the Code of Federal Regulations Implementing the Act (28 C.F.R., Part 36, Appendix A, Sections 4.1 and 4.6). Refer to Standard Detail T-360 for parking layout and accessible parking signs.
 - At parking areas, provide demarcated accessible aisle for disabled parking.
 - Distribute bike parking areas nearest to main entrance(s). Provide parking loop/rack per standard detail T-578. Provide 2'-0" by 6'-0" individual bicycle parking spaces. One loop may be used to separate two bike parking spaces. Provide clearance between bike spaces and adjacent walkway to allow bike maneuvering in and out of space without interfering with pedestrians, landscape materials or vehicles nearby.
- **LIGHTING:**
 - Design site security light in accordance with requirements of ZDC Part 4 Chapter 8 (Lighting) and ZDC Appendix E (Photometric Plan).
 - Indicate the location of all exterior light fixtures on the site, landscape and photometric plans. Avoid conflicts between lights and trees or other site features in order to maintain illumination levels for exterior lighting.
- **SIGNS:** Separate Development Plan Review process is required for signs in accordance with requirements of ZDC Part 4 Chapter 9 (Signs). Obtain sign permit for identification signs. Directional signs (if proposed) may not require a sign permit, depending on size. Directional signs are subject to review by planning staff during plan check process.

HISTORY & FACTS:

February 2, 1960	The Board of Adjustment approved a parking variance for the Newman Center from 36 spaces to 26 spaces.
June 21, 1989	Design Review Board approved a new courtyard site plan and landscape plan for the Newman Center, subject to conditions.
January 20, 2000	The City Council approved the designation of the Old St. Mary's Church as a historic property.
February 7, 2006	The Redevelopment Review Commission approved ALL SAINTS CATHOLIC NEWMAN CENTER (RRC06001) for Development Plan approval of a new two-story social hall, day chapel, and sanctuary (34,936.83 s.f.) including building elevations, site plan and landscape plan and a Use Permit Development Standard to increase the maximum allowable height for a structure by 20%, from 50 feet to 60 feet, located at 230 East University Drive., located at 230 East University Drive.
February 10, 2006	Development Services Department approved the request for a shared parking model to allow 27 parking

spaces on-site with off-site parking for the All Saints Catholic Newman Center, for the addition of a new sanctuary and chapel, located at 230 East University Drive.

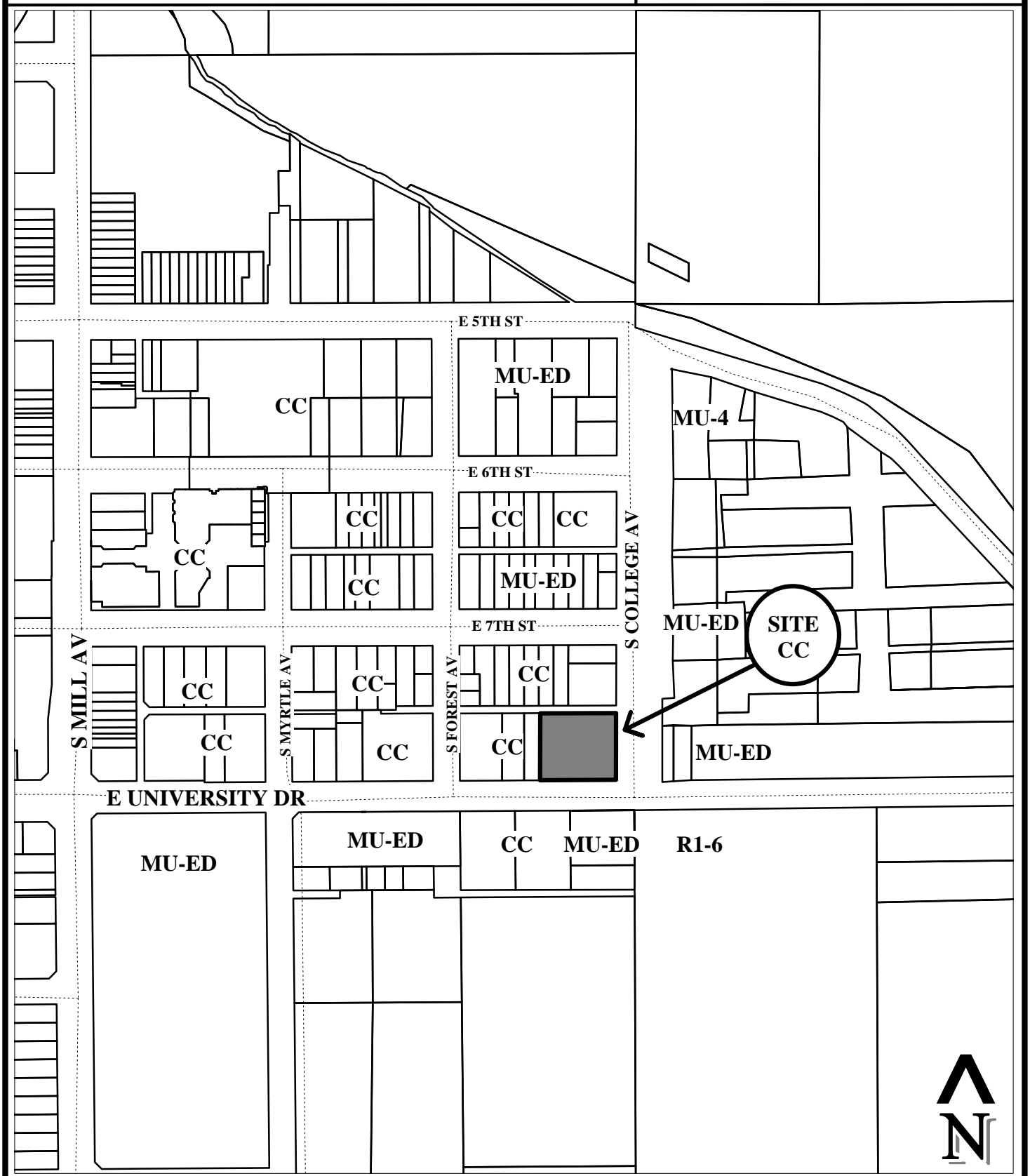
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| September 16, 2007 | The applicant held a neighborhood meeting on Sunday at 1 pm at the All Saints Newman Center facility for the Student Housing development proposal. |
| October 11, 2007 | The Historic Preservation Commission recommended approval of the Planned Area Development Overlay request for ALL SAINTS NEWMAN CENTER STUDENT HOUSING related to preservation review of the historic Old St. Mary's Church. |
| February 12, 2008 | Development Review Commission recommended approval for ALL SAINTS NEWMAN CENTER STUDENT HOUSING (PL070404) with a modified condition that would allow a 270' building. (4-2 vote) |
| March 20, 2008 | City Council approved the request for a Planned Area Development Overlay for ALL SAINTS NEWMAN CENTER STUDENT HOUSING (PL070404) for a mixed-use development consisting of a twenty-two (22) story building for student housing, worship hall and chapel within approximately 260,000 sq. ft. of building area located at 230 East University Drive to January 22, 2008. |
| October 14, 2010 | Historic Preservation Commission approved this request for the All Saints Newman Center building in context with preserving the historic building on site. This item was conditionally approved by the Commission. |

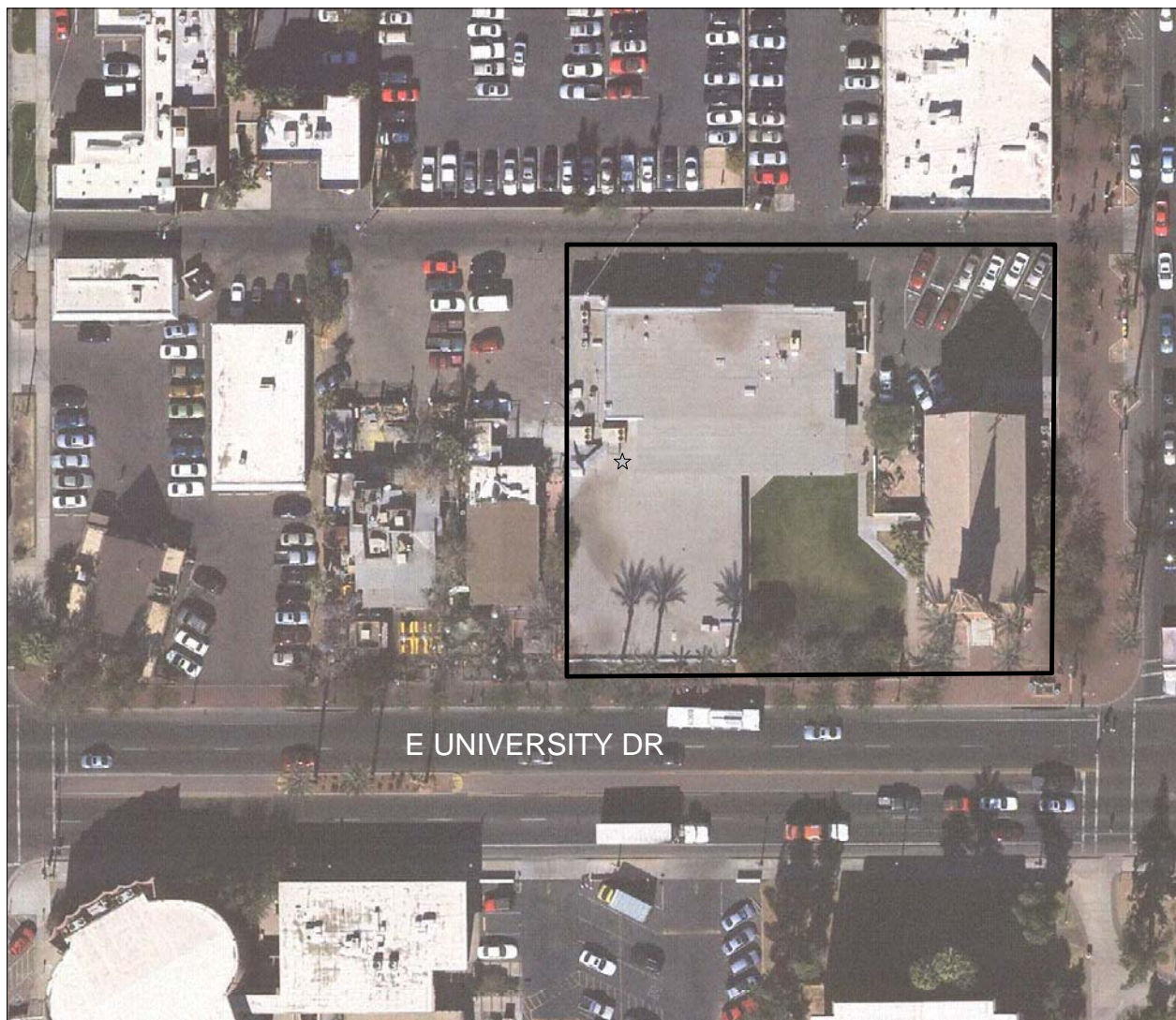
ZONING AND DEVELOPMENT CODE REFERENCE:

Section 6-306, Development Plan Review

ALL SAINTS CATHOLIC NEWMAN CENTER

PL100304





ALL SAINTS CATHOLIC NEWMAN CENTER (PL100304)



10/28/2010

City of Tempe
Development Services
31 East Fifth Street
Tempe, AZ 85280

Re: Letter of explanation for the All Saints Catholic Newman Center
230 East University Drive, Tempe, AZ

The proposed All Saints Catholic Newman Center complex is a singular structure with multiple uses. The building protects open visibility of the historic church and pulls material and geometric shapes from the existing façade. To protect at all costs and blend into the historic church is the underling objective.

The far side architecture coupled with long lasting materials, variable vertical heights and elements allow for good street presents and the compatibility with the historic church and surrounding buildings.

Pedestrian circulation shall be entering the facility from the northern and eastern parking facilities through building/site entrances on the north, east and south. Existing street lighting on College and University will be coupled with well designed building and circulation lighting via building attached and free standing light sources. Great care has been given to maximize natural surveillance and safe pedestrian circulation. The proposed building enhances the existing public transportation on University by providing additional sitting areas while waiting on transport.

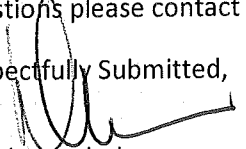
The building design uses natural stone and or rustic masonry units as a wainscot for a grounding element. Vertical architecture masonry pilasters allow for wall segmentation, framing fenestrations and support units for wall and roof structures. Multiple building heights and angular wall orientation supports a center shaded courtyard, opens site lines to the historic church and a more human scale as viewed from both the street side and internal court yard.

Landscape shall be used to help natural surveillance, protect both the new construction and historic church, and create a comfortable transition from public ways to and through the site. The court yard maintains one large turf area in the spirit of the existing complex and the promotion of exterior human interaction.

The existing ground mounted monument sign off of University adjacent to the southern entrance shall be maintained as a remembrance and gateway to the new.

Thank you in advance for your consideration of our proposed multipurpose facility. If you have any questions please contact me at 480-451-9773.

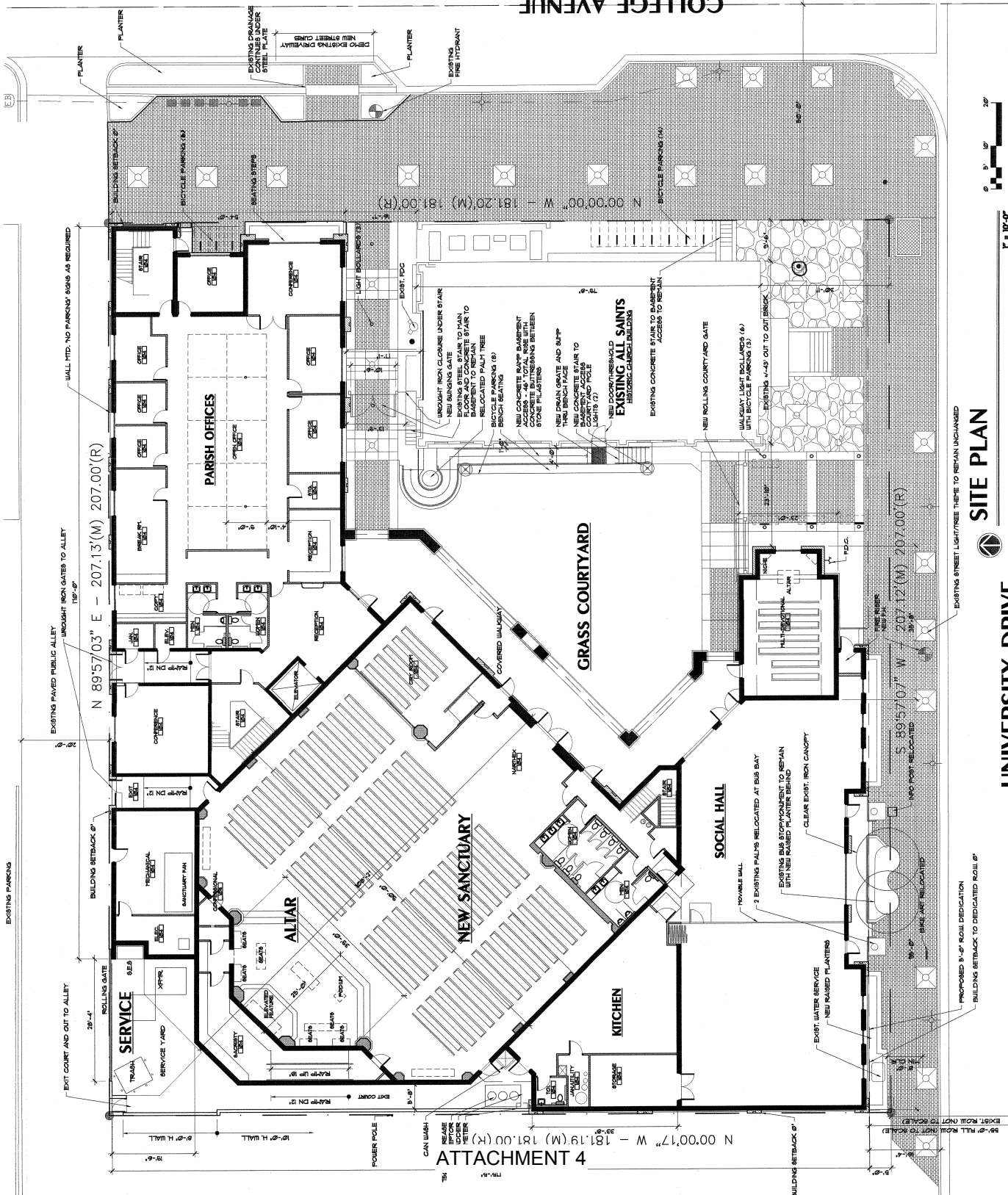
Respectfully Submitted,


David Arambula, manager
Phoenix Design Group LLC.

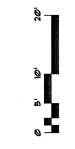
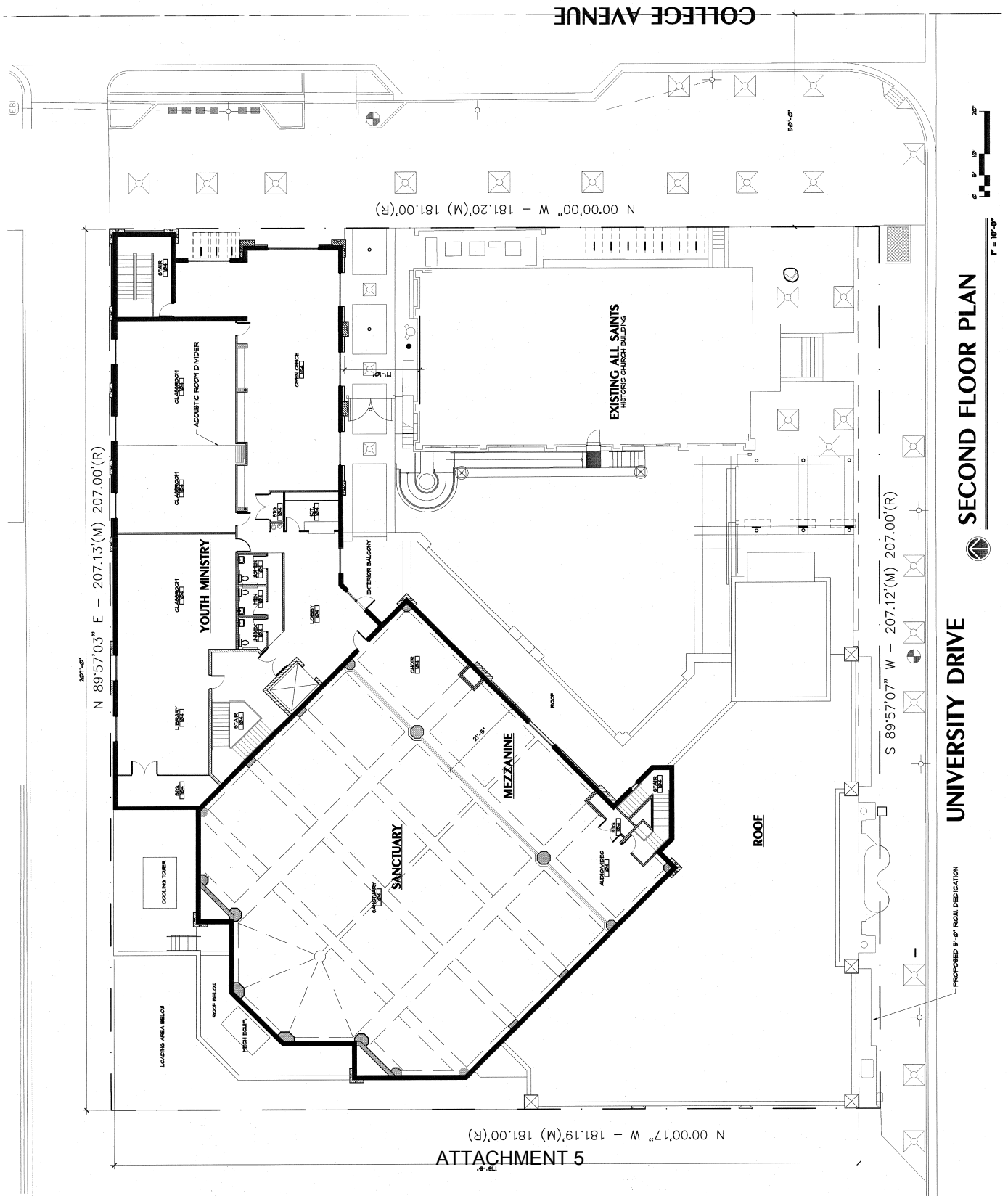
PROJECT INFORMATION

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LEGAL DESCRIPTION

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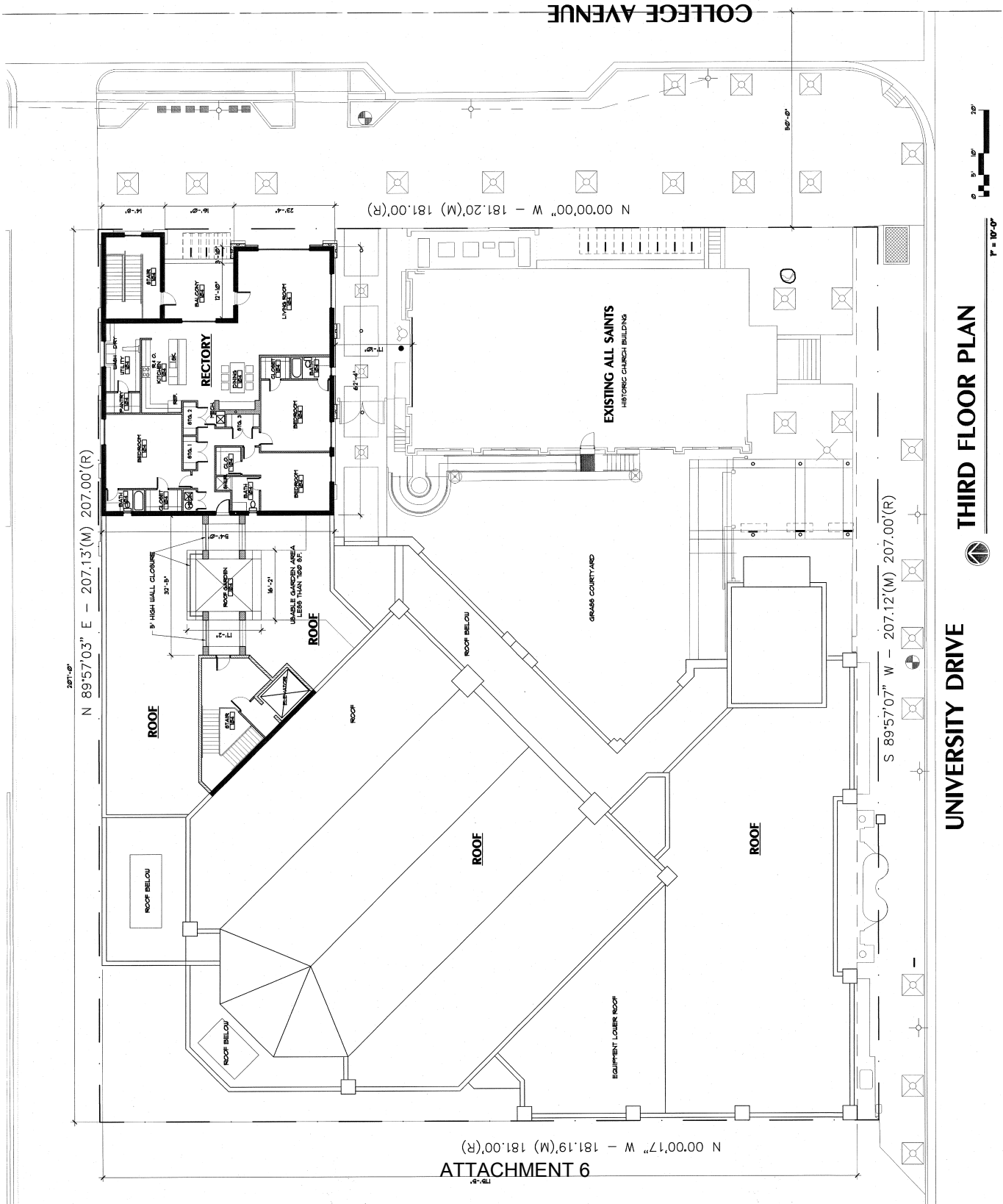
ATTACHMENT 4



1" = 10'-0"

SECOND FLOOR PLAN

UNIVERSITY DRIVE





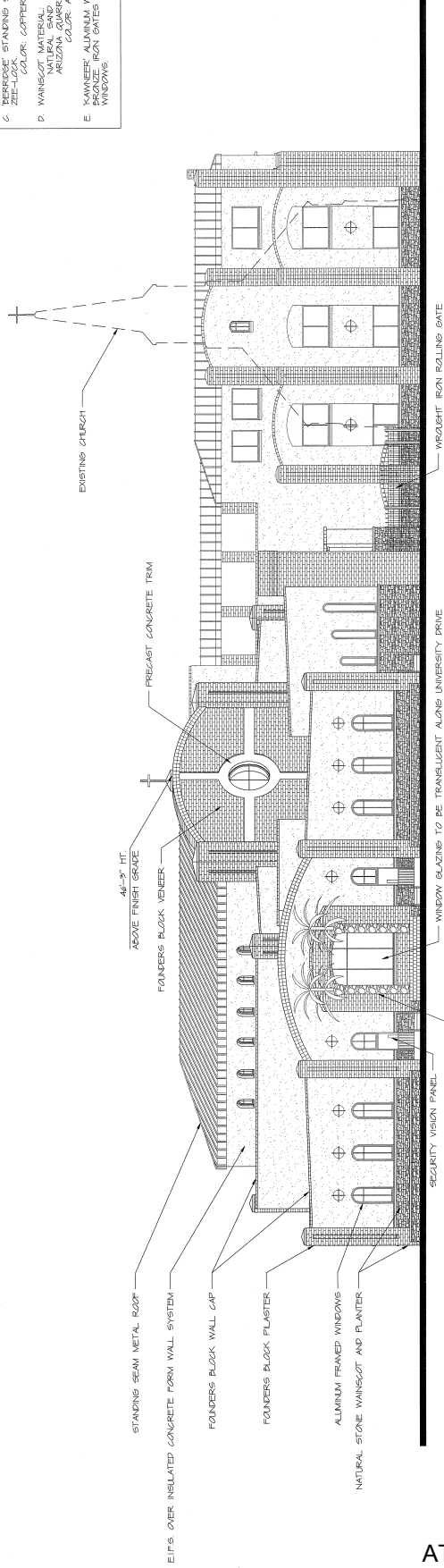
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phoenix design group

ALL SAINTS CATHOLIC NEWMAN CENTER
AT ARIZONA STATE UNIVERSITY, TEMPE, AZ

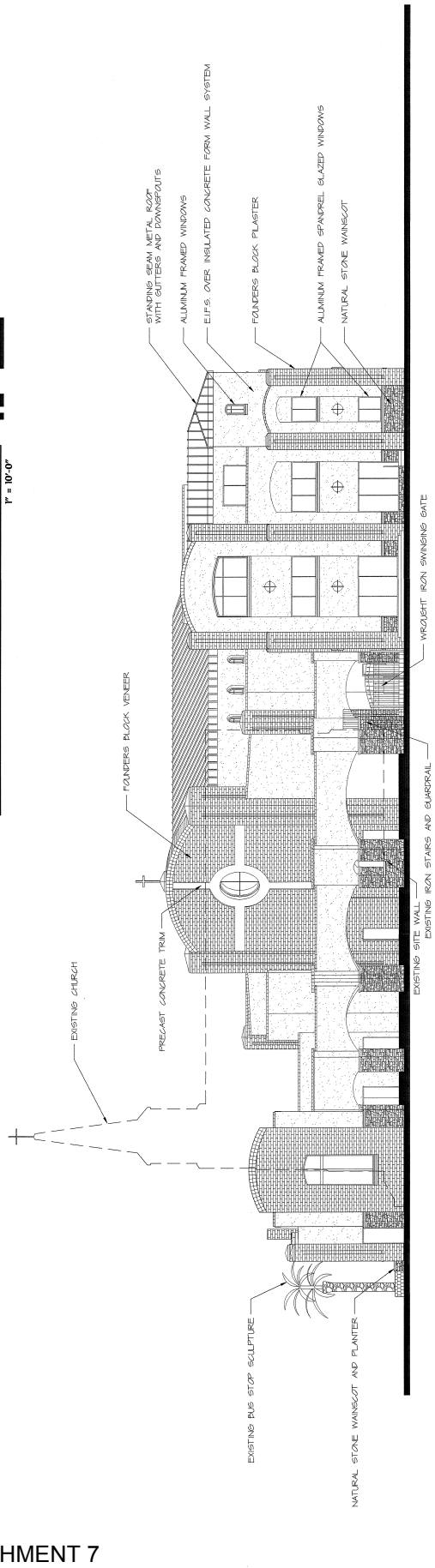
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SHEET NO.

A4

FINISH MATERIAL LEGEND	
A.	SAND FINISH EIFS PERMANENT MOORE COLOR: SHELBYNE BUFF
B.	SUPERLITE FOUNDRY BLOCK FOR PLASTERS AND WALL CAPS COLOR: CANYON
C.	BERBERE STANDING SEAM METAL ROOF, ZEE-BEAM COLOR: COPPER BROWN
D.	WANSKOT MATERIAL: NATURAL SAND STONE FROM ASHTON, ARIZONA COLOR: NATURAL
E.	WANSKOT ALUMINUM WINDOWS, COLOR: MEDIUM BRONZE, IRON GATES TO MATCH COLOR OF WINDOWS

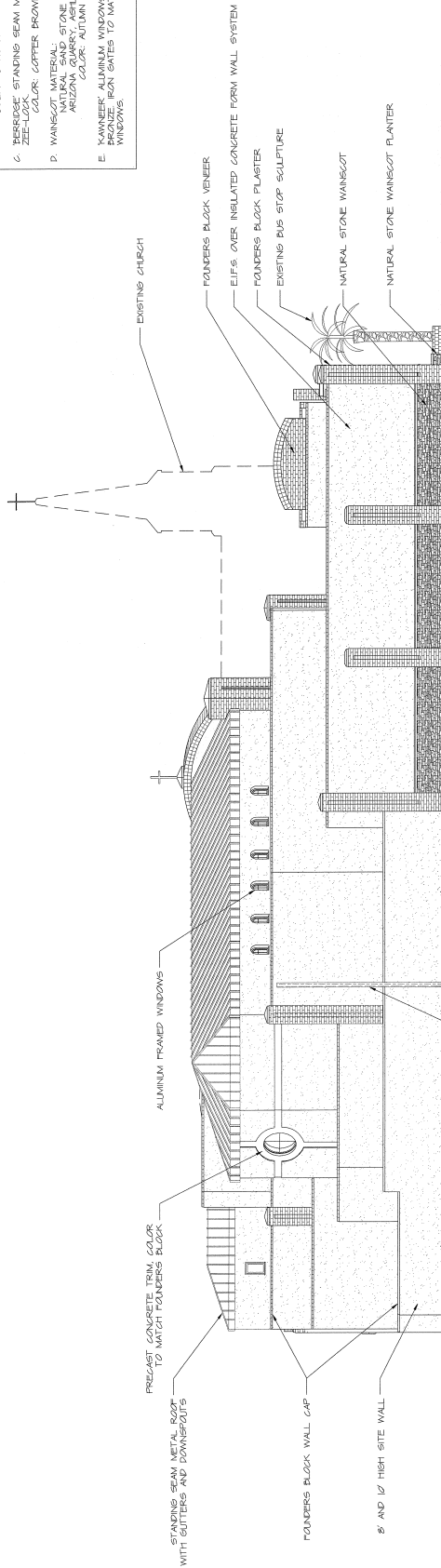


SOUTH ELEVATION



EAST ELEVATION

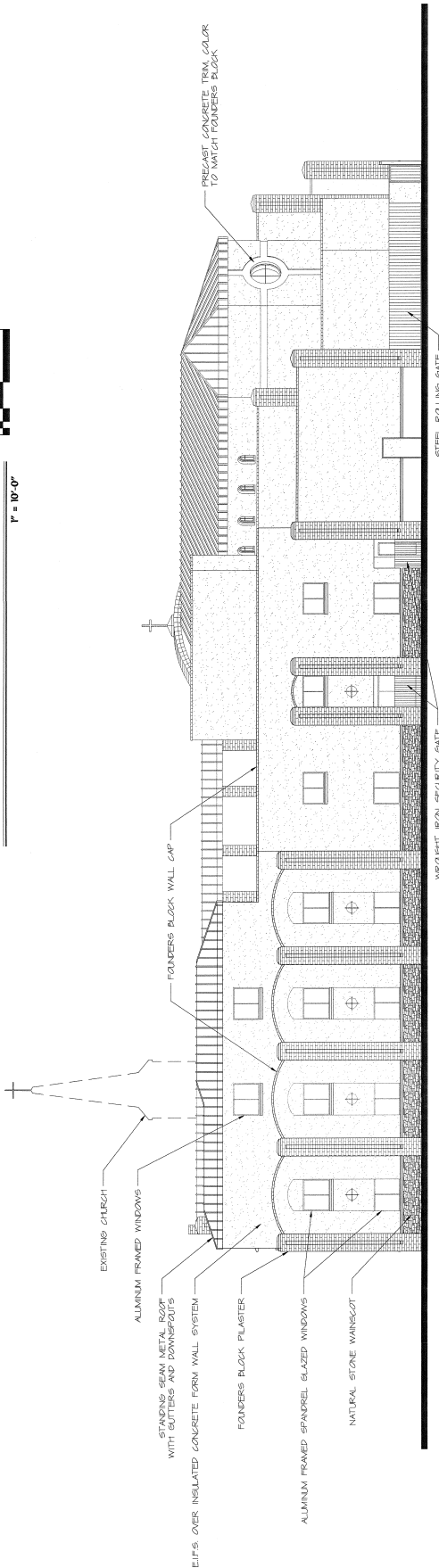
FINISH MATERIAL LEGEND	
A.	SAND FINISH EIFS, BEYHAW MOORE COLOR: SHELBY BUFF
B.	SUPERLITE FOUNDER'S BLOCK FOR PLASTERS AND WALL CAPS COLOR: CANYON
C.	BERTRIDGE STANDING SEAM METAL ROOF, ZEE-LU COLOR: COPPER BROWN
D.	WAINSCOT MATERIAL: NATURAL SAND STONE FROM ASHTON, ARIZONA QUARRY; ASTLAR PATTERN, COLOR: AUTUMN
E.	WAINSCOT ALUMINUM WINDOWS, COLOR: MEDIUM WAINSCOT IRON GATES TO MATCH COLOR OF WINDOWS



WEST ELEVATION



1" = 10'-0"



NORTH ELEVATION

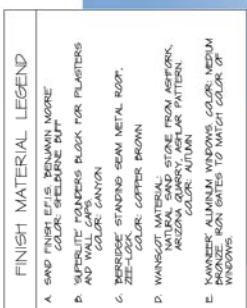


1" = 10'-0"







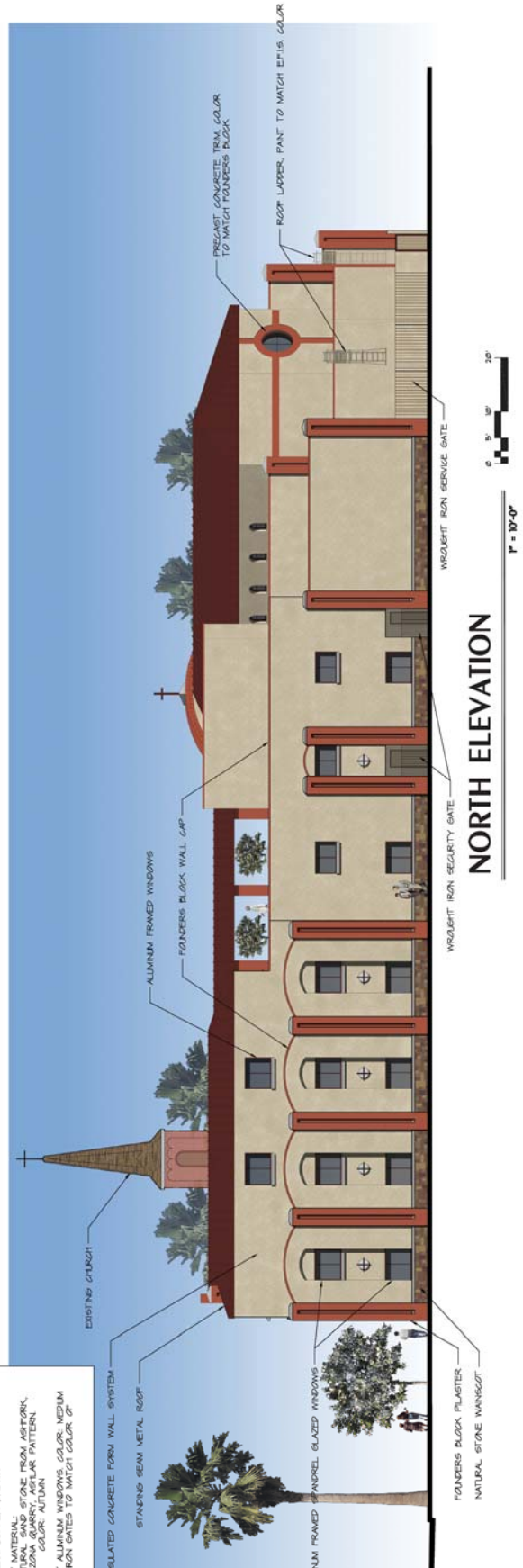




WEST ELEVATION

FINISH MATERIAL LEGEND

- A. SAND FISH EIFS, BROWN MOORE COLOR, FIELDLINE FIN
- B. SUBSTITUTE FOUNDER'S BLOCK FOR PLASTER AND WALL CAPS
- C. BERRIDGE STANDING SEAM METAL ROOF, ZEE-LULLA COLOR, COPPER BROWN
- D. WANGSCOT MATERIAL, NATURAL SAND STONE FROM ASHTON, ARIZONA QUARRY, ANGULAR PATTERN
- E. WANGSCOT ALUMINUM FRAMED GLAZED WINDOWS, BRONZE, IRON GATES TO MATCH COLOR OF WINDOWS



NORTH ELEVATION

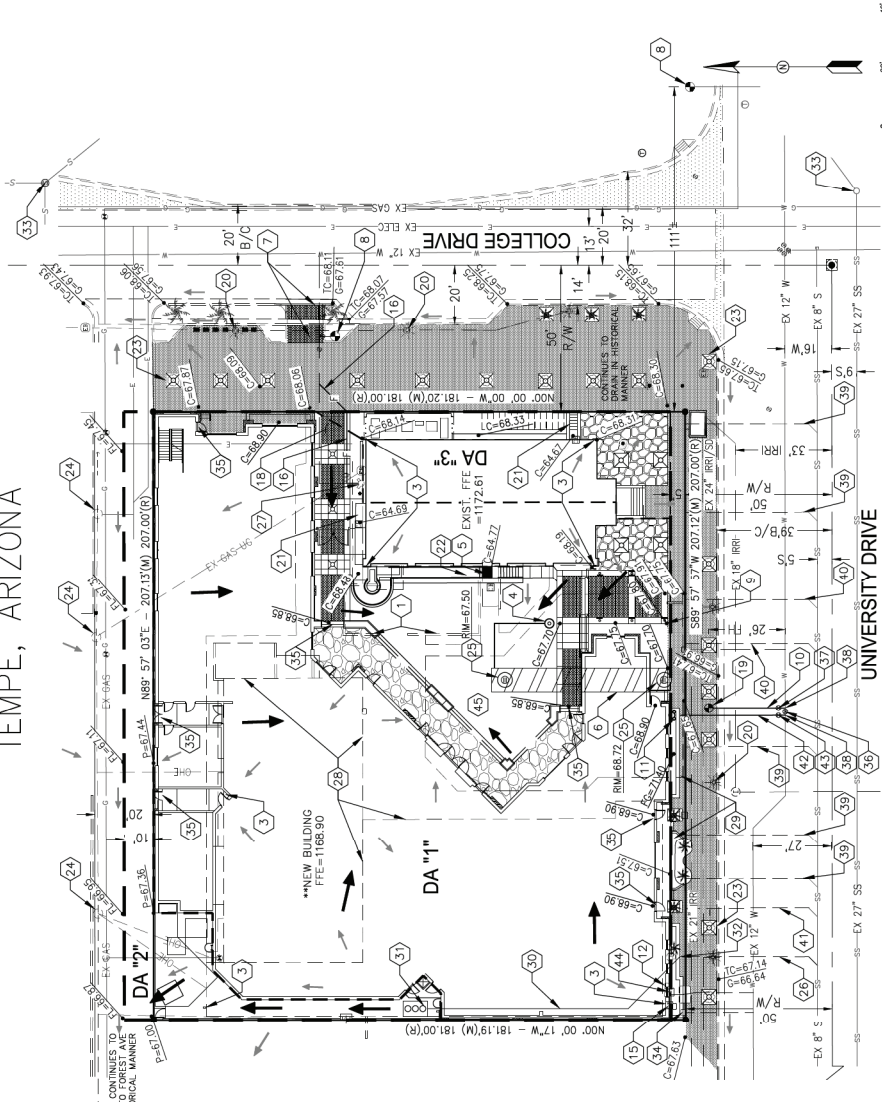
SYMBOL LEGEND

- EXISTING PARKING/AREA LIGHT
- EXISTING MANHOLE
- SEWER CLEAN OUT
- EXISTING WATER VALVE
- EXISTING WATER METER BOX
- EXISTING SERVICE
- NEW FIRE HYDRANT
- STORM DRAIN INLET
- EXISTING DRAINAGE FLOW ARROW
- PROPOSED DRAINAGE FLOW ARROW
- EXISTING WATER
- EXISTING GAS
- PROPOSED FIRE LINE
- EXISTING SEWER LINE
- PROPOSED STORM DRAIN PIPE
- LOT (PARCEL) LINE
- RIGHT OF WAY LINE
- CENTER LINE
- DRAINAGE BOUNDARY
- 10' DIA. UNDERGROUND RETENTION PIPE
- EXISTING TREE
- FINISH FLOOR ELEVATION
- CONSTRUCTION NOTE
- EXISTING GRADE
- NEW GRADE

CONSTRUCTION NOTES

- 1 REMOVE EXISTING WALL/FENCE/GATE
- 2 EXISTING CATCH BASIN
- 3 EXISTING ROOF DRAIN LOCATION
- 4 NEW DRYWELL (SINGLE CHAMBER)
- 5 NEW DRAIN AND SUMP PUMP
- 6 NEW 8" DIAMETER CMP RETENTION PIPE
- 7 REMOVE EXISTING DRIVEWAY & REPLACE W/ CURB, PARKERS AND FLOW THROUGH GUTTER TO MATCH ADJACENT
- 8 EXISTING FIRE HYDRANT
- 9 ULTIMATE SITE OUTFALL
- 10 NEW 6" D.I.P. CLASS 52 POLYWRAP FIRE LINE
- 11 NEW FDC
- 12 RELOCATE EXISTING 2" WATER METER AND SERVICE
- 13 NEW FIRE HYDRANT AND VALVE
- 14 REMOVE EXISTING CATCH BASIN
- 15 RELOCATE 4" FIRE LINE AS SHOWN
- 16 NEW CONCRETE OR DECORATIVE SIDEWALK
- 17 EXISTING FIRE DEPT. CONNECTION
- 18 EXISTING STAKEWELL TO REMAIN
- 19 NEW ADA ACCESS RAMP PER ARCHITECT PLAN
- 20 EXISTING TREE PLANTERS TO REMAIN (TYP)
- 21 EXISTING OVERHEAD ELEC POLE (TYP)
- 22 NEW STORM DRAIN ACCESS MANHOLE
- 23 EXISTING ACTIVE SEWER SERVICE
- 24 EXISTING FIRE DEPT. CONNECTION
- 25 DEMO EXISTING BUILDING
- 26 CONSTRUCT NEW LANDSCAPE PLANTER
- 27 NEW 4" SEWER LINE
- 28 NEW Y CONNECTION TO EXISTING SEWER SERVICE
- 29 EXISTING SEWER MANHOLE
- 30 EXISTING 4" WATER METER AND SERVICE FOR LANDSCAPE
- 31 BUILDING ENTRANCE
- 32 NEW 12" WATER VALVE
- 33 NEW 6" WATER VALVE
- 34 INSTALL NEW 12"x6" TEE
- 35 CAP EXISTING SEWER SERVICE AT MAIN
- 36 EXISTING SERVICE TO REMAIN FOR FUTURE USE
- 37 EXISTING SERVICE TO REMAIN FOR FUTURE USE. CAMERA AND TEST FOR USE
- 38 NEW 4" D.I.P. CLASS 52 POLYWRAP FIRE LINE
- 39 NEW 4" WATER VALVE
- 40 NEW 2" BACKFLOW PREVENTOR DEVICE ADJACENT TO BUILDING
- 41 COURTYARD AREA TO BE PRIMARILY TURF

PRELIMINARY GRADING, DRAINAGE & UTILITY PLAN FOR ALL SAINTS CATHOLIC NEWMAN CENTER TEMPE, ARIZONA



RETENTION SUMMARY

DA	AREAS (S.F.)	WREG (S.F.)	PER (S.F.)	COMMENTS
1	31,690	2,258	3,017	DRAINAGE CONTINUES TO DRAIN AWAY FROM SITE PER HISTORICAL
2	3,457	2,246	NONE	
3	3,408	242	NONE	

RETENTION SYSTEM 1

RETENTION TYPE	TYPE	PER (S.F.)	WREG (S.F.)	DA PROVIDED
8 FT DIA CMP	60	3,017	2,294	1, 2, 3

*RETENTION VOLUME PROVIDED INCLUDES EQUIVALENT VOLUME FOR THE ENTIRE SITE PLUS TWO TIMES OF THE ALLEY.

*THE PRIMARY ROOF DRAINS FROM THE NEW BUILDING AND EXISTING BUILDING ARE PIPED TO THE NEW UNDERGROUND RETENTION SYSTEM.

RETENTION CALCULATIONS

EXISTING RETENTION PROVIDED = 0 CF.

DRAINAGE AREAS 1,2,3

VOLUME REQUIRED = 4.8 (A/C)

D = 0.9' (2'-YEAR, 1-HOUR STORM)

K (TOTAL) = 45,611 S.F.

C = 0.85

VOLUME REQUIRED = 2,748 C.F.

VOLUME REQUIRED + "DA 2" (246 C.F.) = 2,994 C.F.

VOLUME PROVIDED = 3,017 C.F.

DATE: NOVEMBER 22, 2010
SHEET: 1 OF 1
DESIGNED BY: JAW
DRAWN BY: MK
PROJECT: ALL SAINTS CATHOLIC NEWMAN CENTER
ADDRESS: 2300 E. UNIVERSITY DRIVE
TEMPE, ARIZONA 85281
PLAN TYPE: PRELIMINARY GRADING AND DRAINAGE PLAN
REVISION 3:
REVISION 2:
REVISION 1:



BRODERICK ENGINEERING L.L.C.
CIVIL & STRUCTURAL ENGINEERING
8559 E. RICHMOND AVE.
SUITE 142
TUCSON, AZ 85741
PH: 480-936-6333
FAX: 480-936-9999
BRODERICK ENGINEERING L.L.C.
CIVIL & STRUCTURAL ENGINEERING
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















OWNER:
ALL SAINTS CATHOLIC NEWMAN CENTER
2300 E. UNIVERSITY DRIVE
TEMPE, ARIZONA 85281
PHONE: (480) 937-7823
CONTACT: FRANK ROB CLEMENTS

ARCHITECT:
PHOENIX DESIGN GROUP
1005 SCOTTSDALE, ARIZONA 85258
PHONE: (480) 451-9773
FAX: (480) 451-3246
CONTACT: DAVID ARAMBULA

CIVIL ENGINEER:
BRODERICK ENGINEERING
8559 E. RICHMOND AVE., SUITE 124
TUCSON, ARIZONA 85712
PHONE: (480) 926-6333 x 205
FAX: (480) 926-9999
CONTACT: JEFF WUMER

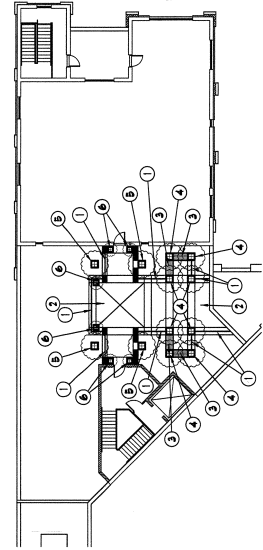
FLOOD ZONE:
THIS SITE IS DESIGNATED AS ZONE "X" BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP PANEL NUMBER 4403322707, DATED SEPTEMBER 30, 2005.

LEGAL DESCRIPTION:
PARCEL 1: 30 FEET OF LOTS 17 AND 18, ALSO 30 FEET OF LOT 19, ALSO 30 FEET OF LOT 20, ALSO 30 FEET OF LOT 21, ALSO 30 FEET OF LOT 22, ALSO 30 FEET OF LOT 23, ALSO 30 FEET OF LOT 24, ALSO 30 FEET OF LOT 25, ALSO 30 FEET OF LOT 26, ALSO 30 FEET OF LOT 27, ALSO 30 FEET OF LOT 28, ALSO 30 FEET OF LOT 29, ALSO 30 FEET OF LOT 30, ALSO 30 FEET OF LOT 31, ALSO 30 FEET OF LOT 32, ALSO 30 FEET OF LOT 33, ALSO 30 FEET OF LOT 34, ALSO 30 FEET OF LOT 35, ALSO 30 FEET OF LOT 36, ALSO 30 FEET OF LOT 37, ALSO 30 FEET OF LOT 38, ALSO 30 FEET OF LOT 39, ALSO 30 FEET OF LOT 40, ALSO 30 FEET OF LOT 41, ALSO 30 FEET OF LOT 42, ALSO 30 FEET OF LOT 43, ALSO 30 FEET OF LOT 44, ALSO 30 FEET OF LOT 45, ALSO 30 FEET OF LOT 46, ALSO 30 FEET OF LOT 47, ALSO 30 FEET OF LOT 48, ALSO 30 FEET OF LOT 49, ALSO 30 FEET OF LOT 50, ALSO 30 FEET OF LOT 51, ALSO 30 FEET OF LOT 52, ALSO 30 FEET OF LOT 53, ALSO 30 FEET OF LOT 54, ALSO 30 FEET OF LOT 55, ALSO 30 FEET OF LOT 56, ALSO 30 FEET OF LOT 57, ALSO 30 FEET OF LOT 58, 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LOT 180, ALSO 30 FEET OF LOT 181, ALSO 30 FEET OF LOT 182, ALSO 30 FEET OF LOT 183, ALSO 30 FEET OF LOT 184, ALSO 30 FEET OF LOT 185, ALSO 30 FEET OF LOT 186, ALSO 30 FEET OF LOT 187, ALSO 30 FEET OF LOT 188, ALSO 30 FEET OF LOT 189, ALSO 30 FEET OF LOT 190, ALSO 30 FEET OF LOT 191, ALSO 30 FEET OF LOT 192, ALSO 30 FEET OF LOT 193, ALSO 30 FEET OF LOT 194, ALSO 30 FEET OF LOT 195, ALSO 30 FEET OF LOT 196, ALSO 30 FEET OF LOT 197, ALSO 30 FEET OF LOT 198, ALSO 30 FEET OF LOT 199, ALSO 30 FEET OF LOT 200, ALSO 30 FEET OF LOT 201, ALSO 30 FEET OF LOT 202, ALSO 30 FEET OF LOT 203, ALSO 30 FEET OF LOT 204, ALSO 30 FEET OF LOT 205, ALSO 30 FEET OF LOT 206, ALSO 30 FEET OF LOT 207, ALSO 30 FEET OF LOT 208, ALSO 30 FEET OF LOT 209, ALSO 30 FEET OF LOT 210, ALSO 30 FEET OF LOT 211, ALSO 30 FEET OF LOT 212, ALSO 30 FEET OF LOT 213, ALSO 30 FEET OF LOT 214, ALSO 30 FEET OF LOT 215, ALSO 30 FEET OF LOT 216, ALSO 30 FEET OF LOT 217, ALSO 30 FEET OF LOT 218, ALSO 30 FEET OF LOT 219, ALSO 30 FEET OF 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LOT 500, ALSO 30 FEET OF LOT 501, ALSO 30 FEET OF LOT 502, ALSO 30 FEET OF LOT 503, ALSO 30 FEET OF LOT 504, ALSO 30 FEET OF LOT 505, ALSO 30 FEET OF LOT 506, ALSO 30 FEET OF LOT 507, ALSO 30 FEET OF LOT 508, ALSO 30 FEET OF LOT 509, ALSO 30 FEET OF LOT 510, ALSO 30 FEET OF LOT 511, ALSO 30 FEET OF LOT 512, ALSO 30 FEET OF LOT 513, ALSO 30 FEET OF LOT 514, ALSO 30 FEET OF LOT 515, ALSO 30 FEET OF LOT 516, ALSO 30 FEET OF LOT 517, ALSO 30 FEET OF LOT 518, ALSO 30 FEET OF LOT 519, ALSO 30 FEET OF LOT 520, ALSO 30 FEET OF LOT 521, ALSO 30 FEET OF LOT 522, ALSO 30 FEET OF LOT 523, ALSO 30 FEET OF LOT 524, ALSO 30 FEET OF LOT 525, ALSO 30 FEET OF LOT 526, ALSO 30 FEET OF LOT 527, ALSO 30 FEET OF LOT 528, ALSO 30 FEET OF LOT 529, ALSO 30 FEET OF LOT 530, ALSO 30 FEET OF LOT 531, ALSO 30 FEET OF LOT 532, ALSO 30 FEET OF LOT 533, ALSO 30 FEET OF LOT 534, ALSO 30 FEET OF LOT 535, ALSO 30 FEET OF LOT 536, ALSO 30 FEET OF LOT 537, ALSO 30 FEET OF LOT 538, ALSO 30 FEET OF LOT 539, ALSO 30 FEET OF 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LOT 580, ALSO 30 FEET OF LOT 581, ALSO 30 FEET OF LOT 582, ALSO 30 FEET OF LOT 583, ALSO 30 FEET OF LOT 584, ALSO 30 FEET OF LOT 585, ALSO 30 FEET OF LOT 586, ALSO 30 FEET OF LOT 587, ALSO 30 FEET OF LOT 588, ALSO 30 FEET OF LOT 589, ALSO 30 FEET OF LOT 590, ALSO 30 FEET OF LOT 591, ALSO 30 FEET OF LOT 592, ALSO 30 FEET OF LOT 593, ALSO 30 FEET OF LOT 594, ALSO 30 FEET OF LOT 595, ALSO 30 FEET OF LOT 596, ALSO 30 FEET OF LOT 597, ALSO 30 FEET OF LOT 598, ALSO 30 FEET OF LOT 599, ALSO 30 FEET OF LOT 600, ALSO 30 FEET OF LOT 601, ALSO 30 FEET OF LOT 602, ALSO 30 FEET OF LOT 603, ALSO 30 FEET OF LOT 604, ALSO 30 FEET OF LOT 605, ALSO 30 FEET OF LOT 606, ALSO 30 FEET OF LOT 607, ALSO 30 FEET OF LOT 608, ALSO 30 FEET OF LOT 609, ALSO 30 FEET OF LOT 610, ALSO 30 FEET OF LOT 611, ALSO 30 FEET OF LOT 612, ALSO 30 FEET OF LOT 613, ALSO 30 FEET OF LOT 614, ALSO 30 FEET OF LOT 615, ALSO 30 FEET OF LOT 616, ALSO 30 FEET OF LOT 617, ALSO 30 FEET OF LOT 618, ALSO 30 FEET OF LOT 619, ALSO 30 FEET OF 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LOT 700, ALSO 30 FEET OF LOT 701, ALSO 30 FEET OF LOT 702, ALSO 30 FEET OF LOT 703, ALSO 30 FEET OF LOT 704, ALSO 30 FEET OF LOT 705, ALSO 30 FEET OF LOT 706, ALSO 30 FEET OF LOT 707

	EXISTING TREE TO REMAIN	SEE PLAN	1 TOTAL
	EXISTING TREE TO BE RELOCATED	SEE PLAN	0 TOTAL
	48" BOX STANDARD B' HT. 14' B' 4" CAL.		3 TOTAL
	B S GALLON FULL PAINT CAN		25 TOTAL
	8 GALLON FULL PAINT CAN		6 TOTAL
	8 GALLON FULL PAINT CAN		9 TOTAL
	8 GALLON FULL PAINT CAN		48 TOTAL
	8 GALLON FULL PAINT CAN		15 TOTAL
	1 GALLON FULL PAINT CAN		21 TOTAL
	GUESSA VIRGINIANA OAK		
	PORPHYRA DACTYLIFERA		
	CANE PALM		
	PIRUS CALLERYANA		
	ORNAMENTAL PEAR		
	HIBISCUS PARVIFOLIA		
	RED YUCCA		
	CARINA GRANDIFLORA "C."		
	GREEN CURRYT		
	AGAVE GERARDIANA		
	TWIN FLOWERS AGAVE		
	AGAVE MEDUNDO-REHIS		
	HYDRANGEA		
	RUELLEA BRITTONIANA "KATIE"		
	KATIE RUELLIA		
	MICHELIA TILLOSTATA		
	MICHELIA		

PLAN KEY NOTES: FOR SITE IMPROVEMENTS AND STREET GRADE LANDSCAPE PLAN

- 1 EXISTING FLAGSTONE SURFACE TO REMAIN
- 2 DECORATIVE PAVEMENT
- 3 NEW COURTYARD POLE LIGHTS
- 4 EXISTING CURB TIES AND REINFORCE TREES WITH CAST IRON TREE GRATE TO REMAIN
- 5 (1) EXISTING DATE PALMS RELOCATED INTO 4 SQ. CAST-IRON TREE GRATES (ADA ACCESSIBLE)
- 6 EXIST. BRICK PAVED SURFACE TO MATCH EXISTING
- 7 EXIST. ROCK PAVED SURFACE TO REMAIN
- 8 EXIST. HT. POLE TO REMAIN
- 9 NEW SEATING
- 10 NEW 3' COURTYARD GATE
- 11 NEW AND BUILT GATE
- 12 EXIST. REIN. AT WALL AND METAL PUMP TREES (BUS STOP) TO REMAIN
- 13 MET. IS TO ACCESS ABOVE
- 14 FIRE EXTINGUISHER TO REMAIN
- 15 EXISTING BACKFLOW PREVENTION UNIT AND BATTERY OPERATED CONTROLLER IN SECURITY CASE
- 16 EXISTING FIRE CONNECTION
- 17 EXISTING FIRE PUMP TO REMAIN
- 18 ROCK MOUNTAIN W/ PERSONAL FLAG TO REMAIN
- 19 EXISTING STAIRWELL TO REMAIN
- 20 EXISTING DRAINAGE DITCH
- 21 EXISTING NEWSPAPER STANDS TO REMAIN
- 22 EXISTING GRAVEL SURFACE TO REMAIN
- 23 EXISTING FURNITURE TO REMAIN
- 24 EXISTING FLAGSTONE SURFACE TO REMAIN
- 25 EXISTING REGULATION STRUCTURE TO REMAIN
- 26 NEW CONC. SEATING STRIPS
- 27 INSTALL NEW BODIED MID-RISE LAMIN
- 28 NEW CONCRETE PAVEMENT/CURB
- 29 CONCRETE LANDINGS AT BASEMENT
- 30 NEW WALKWAY LIGHT BOLLARDS W/ BICYCLE MARKINGS (ACCOMMODATES 8 BICE PARKING SPACES)
- 31 FINISHED/ACCORED CONCRETE
- 32 EXISTING MECHANICAL EQUIPMENT
- 33 RELOCATED DATE PALM
- 34 EXISTING RIVER RUN STONE TO BE REMOVED AND REPLACED WITH 7" CRIMP 1" CORNERED SANTA FE BRICK DECOMPOSED GRANITE
- 35 NEW RAMP TO BASEMENT
- 36 4" X 8" CONCRETE HEADER
- 37 NEW CONCRETE STEPS TO BASEMENT LANDINGS
- 38 NEW BRICK PAVEMENT
- 39 NEW RAISED PLANTER (SEE PLAN FOR HEIGHT)
- 40 INSTALL 7" CRIMP 1" CORNERED "SANTA FE BRICK" DECOMPOSED GRANITE THRU-OUT PLANTER
- 41 ELECTRICAL PANEL
- 42 3" BICE LOOPS SPACED W/ 0.2' (8 TOTAL)
- 43 BICYCLE MARKINGS (14 SPACES)

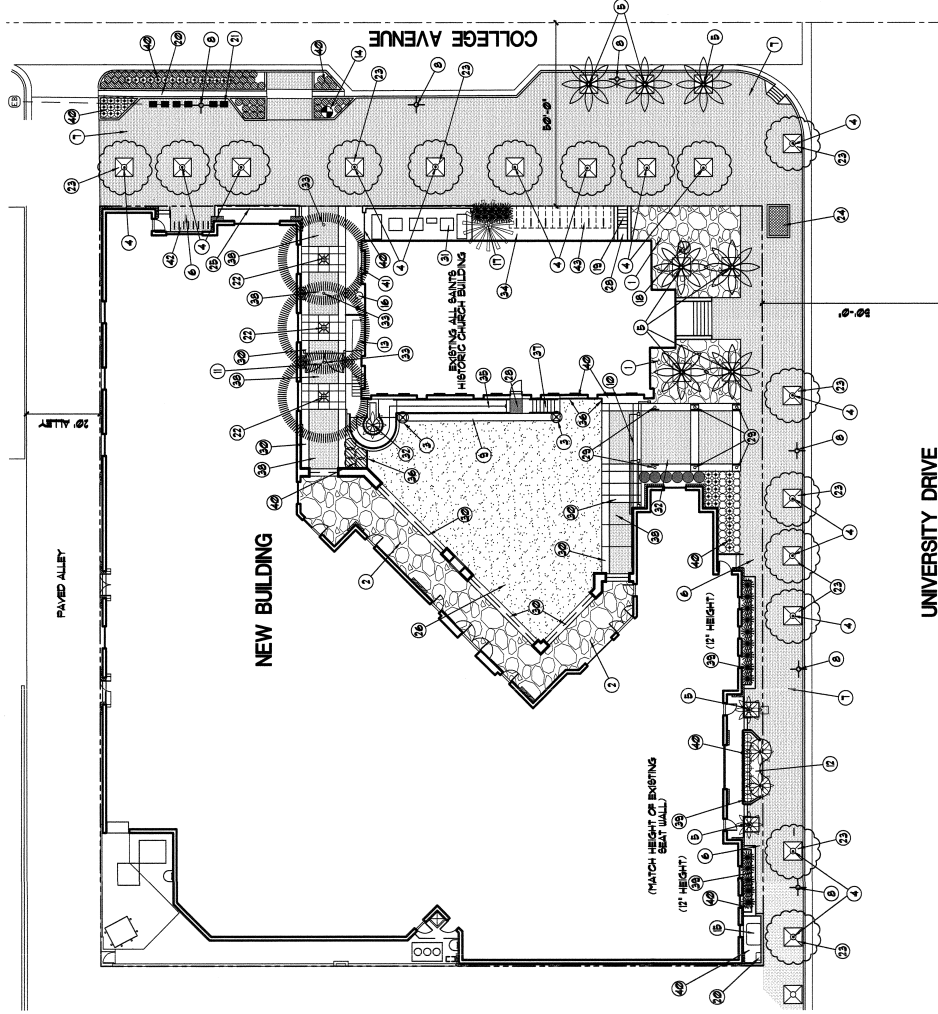


Landscaping Plan
Scale 1/16" = 1'-0"

Scale 1/16" = 1'-0"

- 1 DECORATIVE METAL FINISHES
- 2 STAINED CONCRETE FLOOR W/ CONTROL JOINTS
- 3 4" LONG x 2" HIGH WOOD BENCH SUPPORTED BY POTS
- 4 2' 60" HIBISCUS-LIKE STONE/EMERALD POT W/ 20" BOX CITRUS TREE
- 5 2' 60" HIBISCUS-LIKE STONE/EMERALD POT W/ 20" BOX MAXI-LEAF PLANT
- 6 18" 60" HIBISCUS-LIKE STONE/EMERALD POT W/ 8 GAL RED HIBISCUS TREE AND (4) 6 GAL YELLOW DOT IN BAL PLANTER

NOTE: ALL POTS SHALL HAVE MANUFACTURER'S WATER RESISTANCE FOR 24 HOURS OF PLANTS.



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(480) 899-5813 fax (480) 963-3674

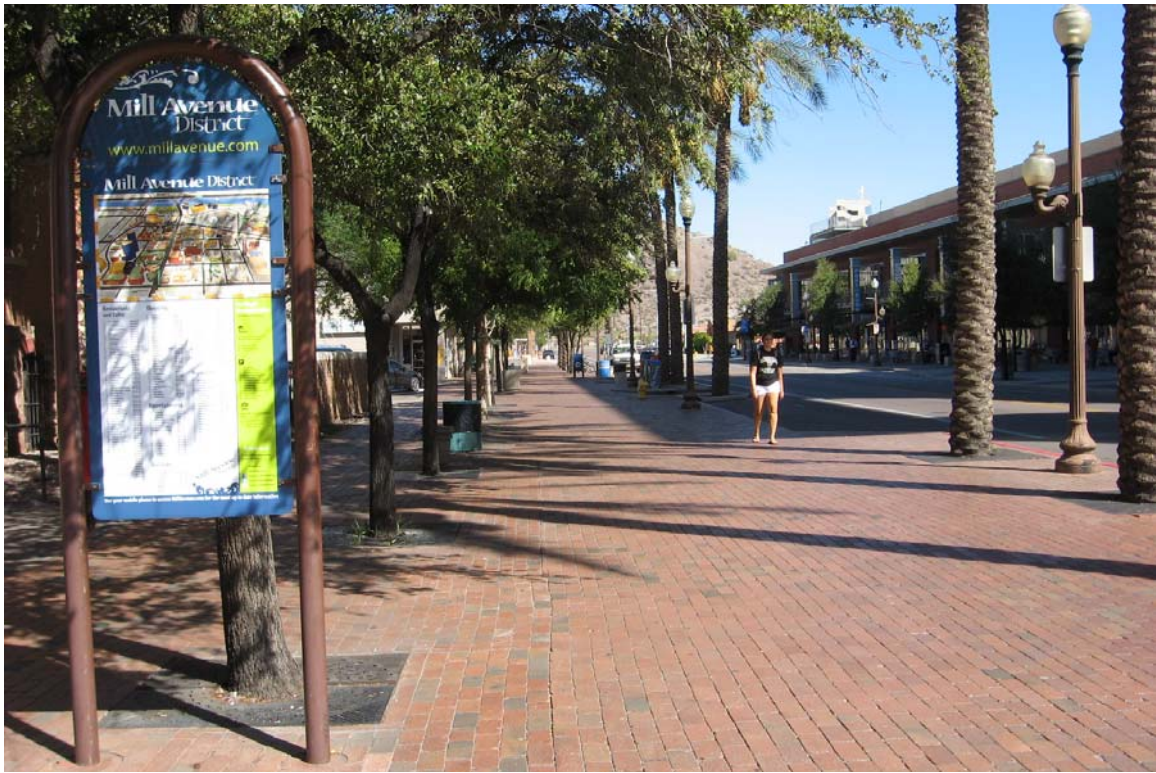


phonix design group
0245 2, via linda suite 105 southside orizono 85258 480 451 9773

ALL SAINTS CATHOLIC NEWMAN CENTER
AT ARIZONA STATE UNIVERSITY, TEMPE, AZ

JOB NO.: PDG-152
DATE: 10/15/10
REVISION: 1 2 3
DRAWN BY: DLR
CHECKED BY: FRP
SHEET NO.

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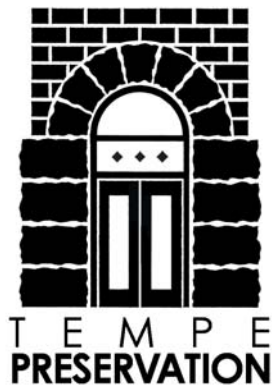












**HISTORIC
PRESERVATION
COMMISSION**

Anne Bilsbarrow
Elias Y. Esquer
Bob Gasser, Chair
Charlie Lee, Alternate
Kriste Melcher
Trista Taylor, Alternate
Liz Wilson, Vice-Chair

**HISTORIC
PRESERVATION
OFFICE**

Amy Douglass
Nathan Hallam
E Hunter Hansen
Wm. "Billy" Kiser
Joe Nucci
John Southard
Mark Vinson

The City of Tempe is a
Certified Local
Government,
in association with the
United States Department
of the Interior / National
Park Service

Tempe Historic
Preservation Office
Community Development
Department
31 East 5th Street
P.O. Box 5002
Tempe, AZ 85280
480.350.8028
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Tempe Historic Preservation Commission (Tempe HPC) Tempe Historic Preservation Office

Thursday, December 09, 2010

David Arambula
Phoenix Design Group LLC
10245 Via Linda
Scottsdale AZ. 85258

Congratulations. The Tempe Historic Preservation Commission has conditionally approved your project referred to as "Changes Proposed at All Saints Catholic Newman Center (Old St. Mary's Church)". At their meeting on October 14, 2010, the Tempe Historic Preservation Commission voted unanimous support for the project described in general as a request for new construction consisting of a new 600 seat worship center, a new 250 person social hall, new administrative offices for the center and catholic mission as well as religious educational classrooms.

This Historic Preservation Commission approval is subject to the following 2 conditions.

- 1) New construction, site features, landscaping, and related appurtenances shall be held away from contact with the historic façades by a distance adequate to ensure no physical damage to the historic structure will occur during construction.
- 2) New circulation to the historic structure shall be designed and constructed so as to make contact with the historic façades in such manner as to minimize impact to the historic structure.

Tempe Preservation assists owners in the preservation and restoration of their historic properties. It is the intent of the city to make ownership of a landmark, historic property or property within an historic district as beneficial as possible. As you continue through the permitting process Tempe Preservation may be able to provide additional assistance and support for your project. Please don't hesitate to call on us to assist in the continued preservation of this important community cultural resource at any time.

Congratulations again on receiving unanimous support for your project from HPC. This is a credit to the quality of the design and to your sensitivity to the historic setting. Thank you as well for your continued support of Tempe Preservation.

Yours Very Truly,

Joseph G. Nucci, Historic Preservation Officer
www.tempe.gov/historicpres joe_nucci@tempe.gov